

ORDINANCE NUMBER 21-45

**AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON
TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO THE
UNIFIED DEVELOPMENT ORDINANCE**

“TowneRun PUD”

This is a Planned Unit Development District Ordinance, to be known as the TOWNERUN PLANNED UNIT DEVELOPMENT (the “**Ordinance**”), to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “**UDO**”), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code§ 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the “**City**”) and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, the Westfield-Washington Advisory Plan Commission (the “**Commission**”) considered a petition (Petition No. 2111-PUD-27), requesting an amendment to the Unified Development Ordinance and to the Zoning Map with regard to the subject real estate more particularly described in Exhibit A attached hereto (the “**Real Estate**”);

WHEREAS, the Commission forwarded Petition No. 2111-PUD-27 to the Common Council of the City of Westfield, Hamilton County, Indiana (the “**Council**”) with a favorable recommendation (Vote: X in favor, X opposed) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code§ 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Council on XXXX X, 2022;

WHEREAS, the Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Council, meeting in regular session, that the UDO and Zoning Map are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The UDO and Zoning Map are hereby changed to designate the Real Estate as a Planned Unit Development District to be known as the “TowneRun Planned Unit Development District” (the “**District**”).
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, and (ii) the provisions of the UDO, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance.
- 1.3 Chapter (“**Chapter**”) and Article (“**Article**”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the UDO.
- 1.4 All provisions and representations of the UDO that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. Definitions. Capitalized terms not otherwise defined in this Ordinance shall have the meanings ascribed to them in the UDO.

Section 3. Concept Plan. The concept plan, attached hereto as Exhibit B (the “**Concept Plan**”), is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 3.1 The District is hereby divided into three (3) areas, as depicted on the Concept Plan and labeled as “**Mixed Use Hub**,” “**Townhome Hub**,” and “**Paired Villas Hub**” (individually or collectively, the “**Area**” or “**Areas**”).
- 3.2 Development of each Area shall be regulated as set forth in this Ordinance.
- 3.3 The boundary of the Mixed Use Hub shall be developed in substantial compliance with the Concept Plan. The final layouts and site plans within the Mixed Use Hub shall be subject to the terms of this Ordinance and may vary from the depictions shown in the Concept Plan.
- 3.4 The Paired Villa Hub and the Townhome Hub shall be developed in substantial compliance with the Concept Plan.

Section 4. Underlying Zoning District(s). The Underlying Zoning District of the Townhome Hub and Paired Villas Hub shall be the SFA: Single-family Attached District, and the Mixed Use Hub shall be the LB: Local and Neighborhood Business District (the “**Underlying Zoning Districts**”).

Section 5. Permitted Uses. The uses identified in this Section (the “**Permitted Uses**”), shall be the only uses permitted in the Areas.

5.1 The following uses shall be permitted in Mixed Use Hub:

- A. Bed and Breakfast (B&B)
- B. Childcare / daycare centers
- C. Health, fitness and exercise center
- D. Office, General Services
- E. Office, Medical
- F. Office, Professional
- G. Restaurant, Sit Down
- H. Restaurant, Specialty
- I. Restaurant, Takeout and Deli-style
- J. Retail, Low Intensity
- K. Retail, Medium Intensity
- L. Development Amenities

5.2 Townhome Hub: A maximum number of 60 Townhouse Dwelling Units shall be permitted.

5.3 Paired Villas Hub: A maximum of 25 Duplex Dwellings (50 Dwelling Units) shall be permitted.

Section 6. General Regulations. The standards of Chapter 4 Zoning Districts, as applicable to the respective Underlying Zoning Districts, shall apply to the development of the Real Estate, except as otherwise modified below.

6.1 Mixed Use Hub Development Standards: The following development standards shall be applicable to any Building within the Mixed Use Hub:

- A. Article 4.14(E) shall not apply. There shall be no zoning setback requirements within the Mixed Use Hub Area.
- B. Article 4.14(F) shall not apply. Instead the following Maximum Building Height standards shall apply: Two (2) Stories.

6.2 Townhome Hub Development Standards: The following development standards shall be applicable to any Building constructed within the Townhome Hub Area:

Minimum Lot Area	No Minimum
Minimum Lot Frontage	No Minimum
Minimum Building Setback*	
Front Yard	0’
Side Yard	0’
Rear Yard	0’

Minimum Distance Between Buildings	20'
Maximum Lot Coverage	No Maximum
Minimum Lot Width	No Minimum
Maximum Dwelling Units Per Building	5
Maximum Building Height	3 Stories
Minimum Living Area (Total) Per Dwelling Unit	1,500 SF

*Each Townhouse Dwelling shall provide a driveway with a minimum length of twenty (20) feet as measured between the garage door and : (i) the Street right-of-way line, if the driveway is accessed from a Street; or (ii) the edge of pavement, if the driveway is accessed from an Alley. A minimum of sixteen (16) additional visitor parking spaces shall be provided in addition to the two (2) off-street spaces being provided in each driveway. Article 4.9(H)(2) Building Staggering Requirement shall not apply. Article 4.9(J) Project Perimeter Setback shall not apply.

- 6.3 Paired Villas Hub Development Standards: The following development standards shall be applicable to any Duplex Dwelling constructed within the Paired Villas Hub Area:

Minimum Lot Area (per Duplex Dwelling Building)	10,000 SF
Minimum Lot Frontage (per Duplex Dwelling Building)	50'
Minimum Building Setback Lines	
Front Yard	20'
Side Yard	7.5'
Rear Yard*	15'
Minimum Building Separation	15'
Minimum Lot Width (per Duplex Dwelling Building)	85'
Maximum Building Height	Story, and one-half
Minimum Living Area (Ground Floor) per Dwelling Unit	1400 SF

* No Duplex Dwelling shall be constructed within 105' of the west property line of the District. Article 4.9(H)(2) Building Staggering Requirement shall not apply.

Section 7. Overlay District. The Architectural Design Requirements of the State Highway 32 Overlay Zone, Article 5.3(K) of the UDO (the “**Overlay Architectural Standards**”), shall apply to the Mixed Use Hub. References of the Overlay Architectural Standards to the State Highway 32 Right-of-way line shall apply to the 146th Street and Towne Road Rights-of-way lines.

Section 8. Development Standards. The standards of Chapter 6 Development Standards of the UDO shall apply to the development of the Real Estate, except as otherwise modified below.

8.1 Article 6.1 Accessory Buildings: Shall apply; however, Article 6.1(H)(2) Screening of Receptacles and Loading Areas shall be modified to permit enclosures to be located within an Established Front Yard along a Street other than 146th Street and Towne Road.

8.2 Article 6.3 Architectural Standards:

A. Mixed Use Hub. Article 6.3 Architectural Standards shall not apply to the Mixed Use Hub. Instead, the Overlay Architectural Standards (incorporated in Section 7 of this Ordinance) shall be supplemented by the images attached hereto as Exhibit C, which are intended to conceptually illustrate the anticipated character and quality of the Buildings to be constructed within Mixed use Hub. References of the Overlay Architectural Standards to the State Highway 32 right-of-way line shall apply to the 146th Street and Towne Road right-of-way lines.

B. Townhome Hub and Paired Villas Hub. Article 6.3 Architectural Standards shall not apply. Instead, the following architectural standards shall apply in the Townhome Hub and Paired Villas Hub Areas:

1. Elevations and Architectural Requirements:

i. Townhome Hub.

1. The Townhouse Dwellings shall be constructed in substantial compliance with Exhibit D (the “**Townhome Elevations**”).
2. Building Materials: The Townhouse Dwellings shall be comprised of any mix, proportion and combination of the following exterior building materials: brick, cast stone, stone, cultured stone, cement fiberboard, or engineered wood siding (e.g., LP SmartSide).
3. Masonry shall be provided on the first floor of the front façade of each Building. Side and rear façades shall include at least a 24” masonry wainscot.
4. Wood or vinyl soffits shall be permitted.
5. Vinyl windows shall be permitted.
6. Vinyl and aluminum siding shall not be permitted.
7. A minimum of 6:12 roof pitch shall be provided on main roof; other roof areas other than the main roof may be less than 6:12 as shown on the Townhome Elevations.
8. All windows not surrounded by masonry shall have a 1” x 4” trim board around all 4 sides of the window.

ii. Paired Villas Hub.

1. The Dwellings in the Paired Villas Hub Area shall be constructed in substantial compliance with Exhibit E (the “**Paired Villa Elevations**”).
2. The Dwellings shall be configured for one-story living with optional upstairs loft area no larger than 50% of the main floor.
3. Building Materials: The exterior building materials of the Dwellings shall be comprised of any mix, proportion and combination of the following materials: brick, cast stone, stone, cultured stone, cement fiberboard, engineered wood siding (e.g., LP SmartSide).
4. Front façades shall include at least an 18” masonry wainscot.
5. Wood or vinyl soffits shall be permitted.
6. Vinyl windows shall be permitted.
7. Vinyl and aluminum siding shall not be permitted.
8. A minimum of 6:12 roof pitch shall be provided on main roof; other roof areas other than the main roof may be less than 6:12 as shown on the Paired Villa Elevations.
9. All windows not surrounded by masonry shall have a 1” x 4” trim board around all 4 sides of the window.
10. Each Dwelling Unit shall include at least seventy (70) square feet of rear covered patio area.

8.3 Article 6.8 Landscaping Standards: Shall apply, except as otherwise modified or enhanced below:

- A. Street Trees: Article 6.8(J) Street Trees shall only apply within the Townhome Hub and Paired Villas Hub Areas, as modified below:
 1. Street Trees shall not be required along Alleys.
 2. Street trees shall be permitted to be located outside the public Right-of-way, but within ten (10) feet of the Right-of-way.
- B. External Street Frontage: Article 6.8(M) External Street Frontage Landscaping Requirements shall not apply. The Paired Villas Hub shall include the following External Street Frontage landscaping: (i.) landscaping area with a minimum depth of thirty (30) feet along 146th Street frontage road; (ii) the landscaping area shall include a minimum of four (4) evergreen trees, three (3) shade trees, three (3) ornamental trees and twenty-five (25) shrubs per one hundred (100) lineal feet; and (iii) a minimum three-foot (3') tall undulating mound unless there are drainage or utility conflicts that would prohibit such mounding.
- C. Buffer Yard Landscaping. Article 6.8(N) Buffer Yard Requirements shall not apply. Instead, Buffer Yard landscaping along the west and north boundaries of

the District abutting the existing AG-SF1 zoning district shall be provided in substantial compliance with Exhibit F.

- D. Tree Preservation. Any trees within ten (10) feet of the west and north boundary of the District, that are in good health and not otherwise required to be removed for environmental reasons, shall be preserved in accordance with Article 6.8, Landscaping Standards of the UDO. Existing trees in this area shall not be disturbed by the Developer unless required by the City, or for drainage/utility installation.
- E. Lot Landscaping: Article 6.8(K) Minimum Lot Landscaping Requirements shall not apply. Instead the following standards shall apply:
 - 1. At a minimum, all Established Front Yards shall be sodded and the remainder of the Lot shall be seeded.
 - 2. Townhouse Dwelling Buildings shall be landscaped in compliance with Exhibit G of this Ordinance (including at least 4 shrubs and 1 shade, evergreen or ornamental tree per Dwelling Unit). Each Townhouse Dwelling on a Corner Lot shall have one (1) additional Shade Tree in the Front Yard adjacent to the side elevation of the Dwelling.
 - 3. Buildings in the Paired Villas Hub Area shall be landscaped in compliance with Exhibit H of this Ordinance (including at least 8 shrubs and 1 shade, evergreen or ornamental tree per Dwelling Unit). Each Building on a Corner Lot shall have one (1) additional Shade Tree in the Front Yard adjacent to the side elevation of the Building.

8.4 Sign Standards.

- A. One (1) Nonresidential Center Monument Sign, in compliance with the standards set for in Article 6.17(J)(2)(a)(ii), shall be permitted within the Mixed Use Hub Area.
- B. One (1) Residential Monument Sign, in compliance with Article 6.17(G)(1), shall be permitted at the entrance of the Townhome Hub Area.
- C. One (1) Residential Monument Sign, in compliance with Article 6.17(G)(1), shall be permitted at the entrance of the Paired Villas Hub Area.
- D. Wall Signs shall be permitted in accordance with Article 6.17(J)(5) of the UDO for Buildings in the Mixed Use Hub. For purposes of this Section, a Front Façade may be either a Building Façade possessing the primary entrance of a Building or a Building Façade facing an External Street (or frontage road thereto).

8.5 Parking and Loading Standards.

- A. Article 6.14(G)(5) is hereby modified to permit up to 20% of all parking spaces required in the District to be a minimum of 8' wide and 18' deep to accommodate compact cars.
- B. Parking Space requirements shall be determined by the Director based upon data supplied by the Applicant in response to traffic and parking data requested to be furnished with the application for a Detailed Development Plan.

Section 9. Open Space and Amenity Standards. Article 8.6 shall not apply. Instead, the amenities and open space shall be provided in substantial compliance with Exhibit I of this Ordinance (the “**Amenity Plan**”). The amenities shall include the following: passive recreation open space; two seating areas at locations indicated on the Concept Plan (including a shelter, gazebo or trellis structure), bocce ball court, pickleball court and dog park.

Section 10. Infrastructure Standards. The District's infrastructure shall comply with the UDO and the City's Construction Standards (see Chapter 7 Subdivision Regulations) unless otherwise approved by the Department of Public Works.

Section 11. Duration. Failure to obtain a Secondary Plat / Construction Plan approval in the District by January 1, 2027 (unless otherwise extended by the Director) shall automatically void this Ordinance and cause the zoning classification of the Real Estate to revert to the AG-SF1 District.

Section 12. Severability. If any term or provision of this ordinance is held to be illegal or unenforceable, the validity or enforceability of the remainder of this ordinance will not be affected.

ALL OF WHICH IS ORDAINED/RESOLVED THIS XX DAY OF XXXX, 2022.

WESTFIELD CITY COUNCIL

Voting For

Voting Against

Abstain

James Edwards

James Edwards

James Edwards

Scott Frei

Scott Frei

Scott Frei

Jake Gilbert

Jake Gilbert

Jake Gilbert

Mike Johns

Mike Johns

Mike Johns

Troy Patton

Troy Patton

Troy Patton

Cindy L. Spoljaric

Cindy L. Spoljaric

Cindy L. Spoljaric

Scott Willis

Scott Willis

Scott Willis

ATTEST:

Cindy Gossard, Clerk Treasurer

I hereby certify that **ORDINANCE 21-45** was delivered to the Mayor of Westfield on the XX day of XXXX, 2022, at _____ m.

Cindy Gossard, Clerk-Treasurer

I hereby **APPROVE ORDINANCE 21-45**

this _____ day of XXXX, 2022.

I hereby **VETO ORDINANCE 21-45**

this _____ day of XXXX, 2022.

J. Andrew Cook, Mayor

J. Andrew Cook, Mayor

This document prepared by: Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, Indiana 46074, (317) 773-2190.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Matthew S. Skelton.

EXHIBIT A
Legal Description

A PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 18 NORTH, RANGE 03 EAST, OF THE SECOND PRINCIPAL MERIDIAN, IN HAMILTON COUNTY, INDIANA, BEING THAT TRACT OF LAND SHOWN ON THE PLAT OF SURVEY CERTIFIED BY TERRY D. WRIGHT, INDIANA REGISTERED PROFESSIONAL LAND SURVEYOR LS#9700013 ON APRIL 23, 2021 BY HAMILTON DESIGNS, LLC PROJECT NUMBER 2021-0106 (ALL REFERENCES TO MONUMENTS AND COURSES HEREIN AS SHOWN ON SAID PLAT OF SURVEY) MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A HARRISON MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SECTION; THENCE NORTH 00 DEGREES 00 MINUTES 33 SECONDS WEST 750.00 FEET ON AND ALONG THE EAST LINE OF SAID QUARTER SECTION TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THE FOLLOWING 11 CALLS FOLLOW THE NORTH LINE OF THE RIGHT OF WAY GRANT DESCRIBED IN INSTRUMENT # 2016013973 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY;

- 1) THENCE SOUTH 89 DEGREES 56 MINUTES 47 SECONDS WEST 50.58 FEET;
- 2) THENCE SOUTH 00 DEGREES 03 MINUTES 13 SECONDS EAST 45.85 FEET;
- 3) THENCE SOUTH 89 DEGREES 48 MINUTES 55 SECONDS WEST 5.39 FEET;
- 4) THENCE IN A SOUTHWESTERLY DIRECTION WITH A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 219.87 FEET, HAVING A CHORD BEARING OF SOUTH 44 DEGREES 56 MINUTES 18 SECONDS WEST AND A CHORD DISTANCE OF 311.07, HAVING A CENTRAL ANGLE OF 90 DEGREES 02 MINUTES 38 SECONDS AND AN ARC LENGTH OF 345.55;
- 5) THENCE SOUTH 03 DEGREES 06 MINUTES 12 SECONDS EAST 93.98 FEET;
- 6) THENCE IN A SOUTHWESTERLY DIRECTION WITH A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 145.10 FEET, HAVING A CHORD BEARING OF SOUTH 44 DEGREES 46 MINUTES 18 SECONDS WEST AND A CHORD DISTANCE OF 204.44, HAVING A CENTRAL ANGLE OF 89 DEGREES 34 MINUTES 20 SECONDS AND AN ARC LENGTH OF 226.84;
- 7) THENCE NORTH 88 DEGREES 35 MINUTES 56 SECONDS WEST 95.30 FEET;
- 8) THENCE NORTH 73 DEGREES 42 MINUTES 13 SECONDS WEST 52.20 FEET;
- 9) THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST 75.00 FEET;
- 10) THENCE SOUTH 72 DEGREES 53 MINUTES 53 SECONDS WEST 52.20 FEET;
- 11) THENCE SOUTH 89 DEGREES 35 MINUTES 50 SECONDS WEST 409.99 FEET TO THE EAST LINE OF INSTRUMENT #200100027371 IN SAID RECORDER'S OFFICE; THENCE NORTH 00 DEGREES 03 MINUTES 20 SECONDS WEST 985.64 FEET ALONG SAID EAST LINE; THENCE

NORTH 89 DEGREES 30 MINUTES 46 SECONDS EAST 183.94 FEET TO THE SOUTHEAST CORNER OF INSTRUMENT #200200010702; THENCE NORTH 89 DEGREES 30 MINUTES 14 SECONDS EAST 396.72 FEET TO A SOUTHEASTERN CORNER OF INSTRUMENT #2021015916; THE FOLLOWING 4 CALLS FOLLOW AN EASTERN AND SOUTHERN LINE OF SAID INSTRUMENT;

- 1) THENCE NORTH 00 DEGREES 00 MINUTES 33 SECONDS WEST 141.35 FEET;
- 2) THENCE NORTH 27 DEGREES 18 MINUTES 29 SECONDS WEST 121.54 FEET;
- 3) THENCE NORTH 00 DEGREES 00 MINUTES 46 SECONDS WEST 146.55 FEET;
- 4) THENCE NORTH 89 DEGREES 33 MINUTES 30 SECONDS EAST 570.80 FEET TO THE EAST LINE OF SAID QUARTER SECTION; THENCE SOUTH 00 DEGREES 00 MINUTES 33 SECONDS EAST 884.07 FEET ON AND ALONG SAID SECTION LINE TO THE POINT OF BEGINNING; CONTAINING 26.94 ACRES MORE OR LESS.

EXHIBIT B

Concept Plan

The “Concept Plan” appears on the following two (2) pages of this exhibit.



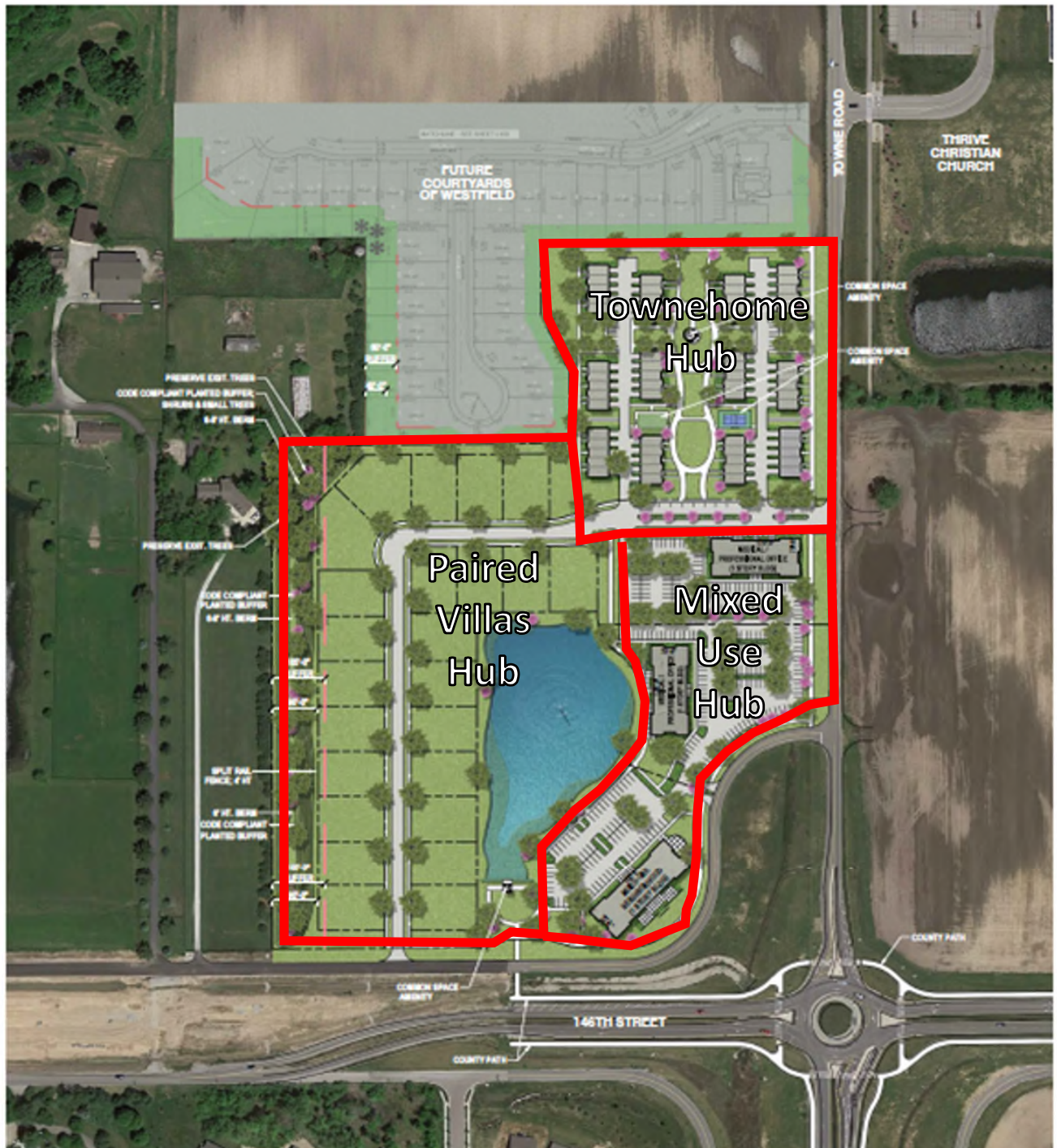
C&E
Civil & Environmental Consultants, Inc.
530 E. Ohio Street, Suite G - Indianapolis, IN 46204
317-655-7777 • 877-746-0749
www.ccecinc.com

LOR Corporation
TowneRun
Mixed-Use Development
Westfield, Indiana

SCHEMATIC LAYOUT PLAN

DRAWN BY: SGJ CHECKED BY: ACH APPROVED BY: ACH FIGURE NO.:
DATE: APRIL 26, 2022 DWG SCALE: 1"=200' PROJECT NO: 316-844

EXHIBIT #1



SCALE IN FEET
0 200 400

 Civil & Environmental Consultants, Inc. 530 E. Ohio Street, Suite G - Indianapolis, IN 46204 317-655-7777 • 317-746-0749 www.cecinc.com		LOR Corporation TowneRun Mixed-Use Development Westfield, Indiana	
		SCHEMATIC LAYOUT PLAN - NO. 8	
DRAWN BY:	DGL	CHECKED BY:	ACH
DATE:	APRIL 12, 2022	DWG SCALE:	1"=200'
		PROJECT NO:	316-844
			FIGURE NO: EXHIBIT #1

EXHIBIT C

Mixed Use Hub Illustrative Images (Page 1 of 3)



EXHIBIT C

Mixed Use Hub Illustrative Images (Page 2 of 3)



EXHIBIT C

Mixed Use Hub Illustrative Images (Page 3 of 3)



EXHIBIT D

Townhome Elevations

The “Townhome Elevations” appear on the following six (6) pages of this exhibit.



5 - UNIT
FRONT ELEVATION



M/I HOMES

M/I HOMES of INDIANAPOLIS
TOWNHOME CONCEPT

CōBŪ ARCHITECTURE STUDIO
111 North Avenue, Suite 207
Barrington, IL 60010
312-410-1260
August 2, 2021





5 - UNIT
REAR ELEVATION



5 - UNIT
SIDE ELEVATIONS



M/I HOMES of INDIANAPOLIS
TOWNHOME CONCEPT

M/I HOMES

CōBŪ ARCHITECTURE STUDIO
111 North Avenue, Suite 207
Barrington, IL 60010
312-410-1260
August 2, 2021





Rear Elevation Composite

SCALE: 1/4"=1'-0"

TYPICAL EXTERIOR TRIM FINISH
 THE FINISHES LISTED BELOW ARE TO BE USED AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

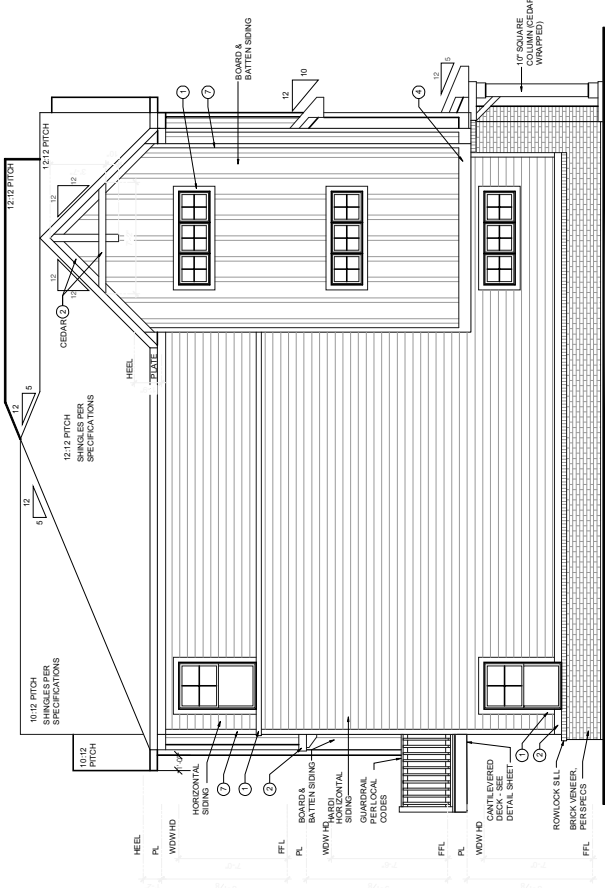
- ① = 4" TRIM (1x4, 5x4x4, 3x1x1x4 LINEAL)
- ② = 6" TRIM (1x6, 5x6x6, 5" WYLY LINEAL)
- ③ = 8" TRIM (1x8, 5x8x8, 7" WYLY LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS - 8" TRIM PER DIVISION - SEE SPECS
- ⑦ REAR CORNERS - 3" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
 IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE AT A DIVISIONAL LEVEL AS WELL AS COMMUNIT SPECIFIC LEVEL, THE DESIRED FINISH MATERIAL, SPECIFIC LEVEL, AND FINISHES TO BE USED. REGR, GRANITE, PAINTED, OR ALUMINUM WRAPPED.

WINDOW GRID NOTE:

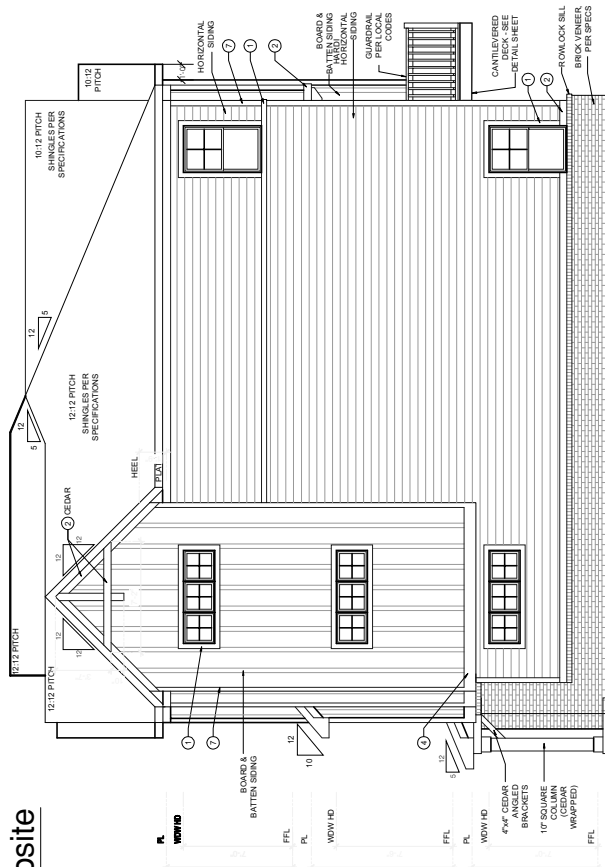
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER
DIVISION**

***GRID PATTERNS TO MATCH FRONT ELEVATION**



Left Elevation Composite

SCALE: 1/4" = 1'-0"
T1800



Right Elevation Composite

SCALE: 1/4" = 1'-0"

T1800 R

TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS TO BE INSTALLED IN ACCORDANCE WITH THE FINISH AND MATERIAL.

1	= 4" TRIM	(1x4, 5/4x4, 3/4" VINYL LINEAL)
2	= 6" TRIM	(1x6, 5/4x6, 5/4" VINYL LINEAL)
3	= 8" TRIM	(1x8, 5/4x8, 7/4" VINYL LINEAL)
4	= 10" TRIM	
5	= 12" TRIM	
6	FRONT CORNERS	= 9" TRIM PER DIVISION - SEE SPECS
7	REAR CORNERS	= 9" TRIM PER DIVISION - SEE SPECS

DIVISION NOTE:
IT IS THE RESPONSIBILITY OF THE ARCHITECT TO DETERMINE, AT A DIVISIONAL LEVEL, AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM TYPES. WHETHER FINISHED WITH STAIN, PAINT, OR OTHERWISE.

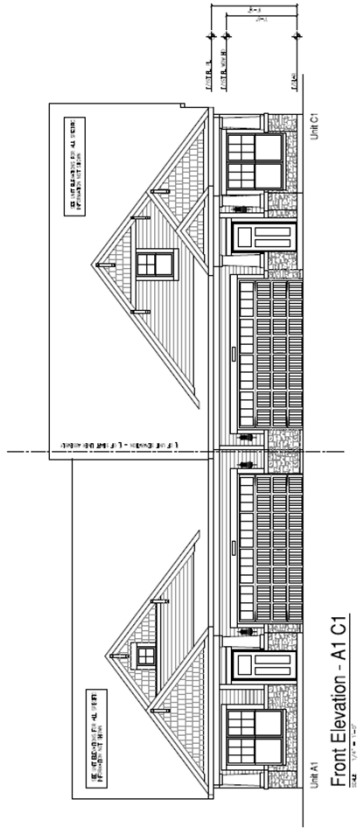
WINDOW GRID NOTE:
- FRONT WINDOW GRIDS ARE STANDARD
- SIDE AND REAR GRIDS ARE OPTIONAL PER DIVISION
*GRID PATTERNS TO MATCH FRONT ELEVATION

EXHIBIT E

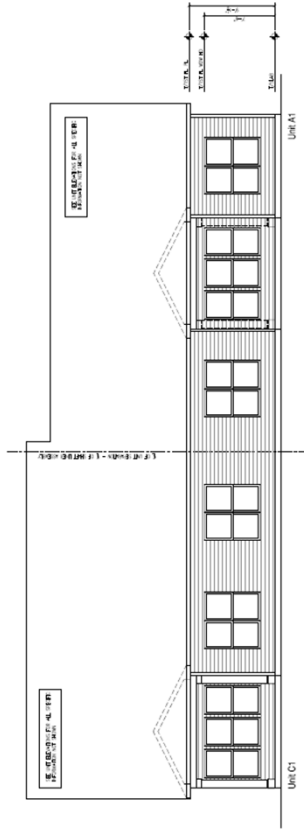
Paired Villa Elevations

The “Paired Villa Elevations” appear on the following five (5) pages of this exhibit.

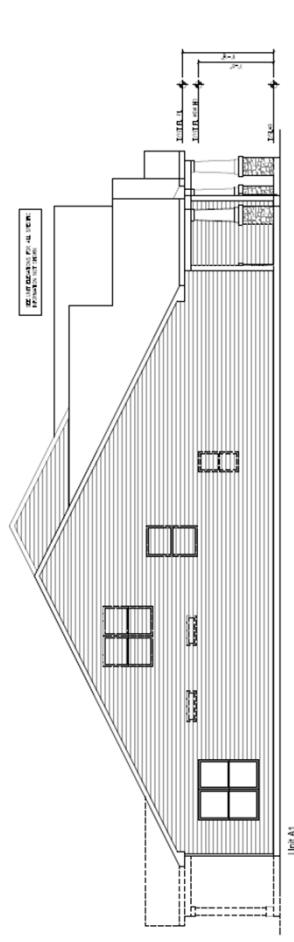




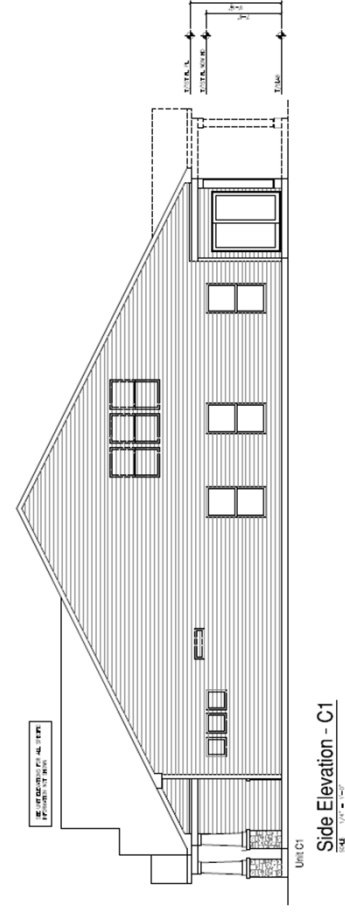
Unit A1
Unit C1
Front Elevation - A1 C1
1/8\"/>



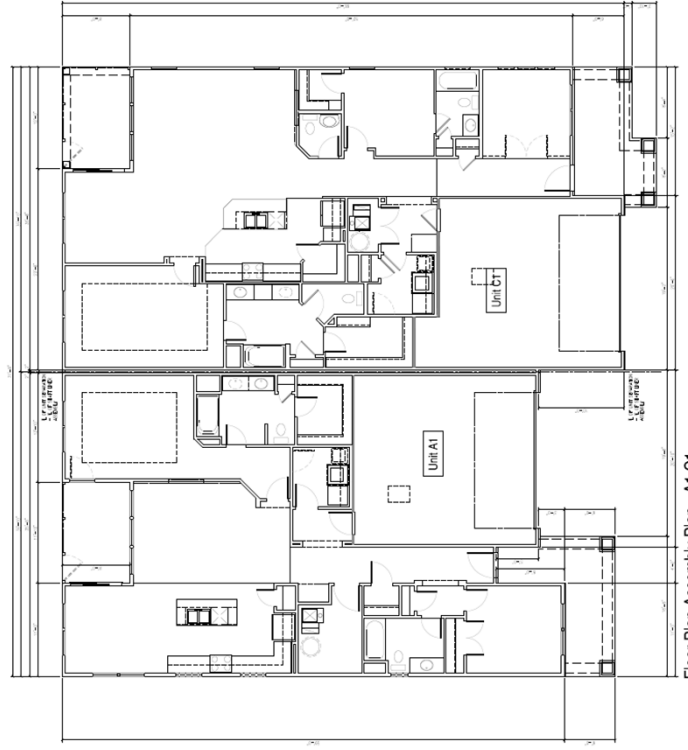
Unit A1
Unit C1
Rear Elevation - A1 C1
1/8\"/>



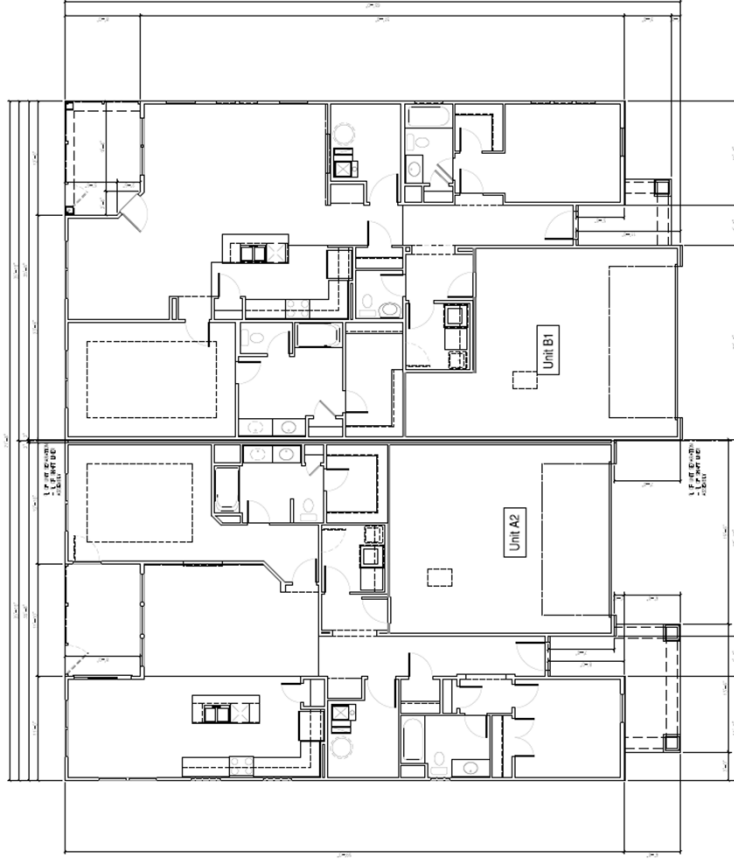
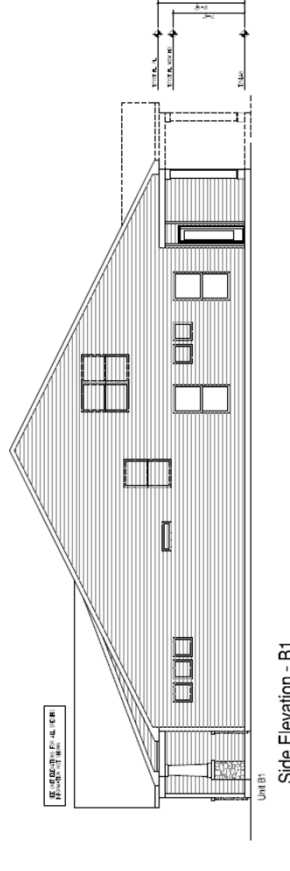
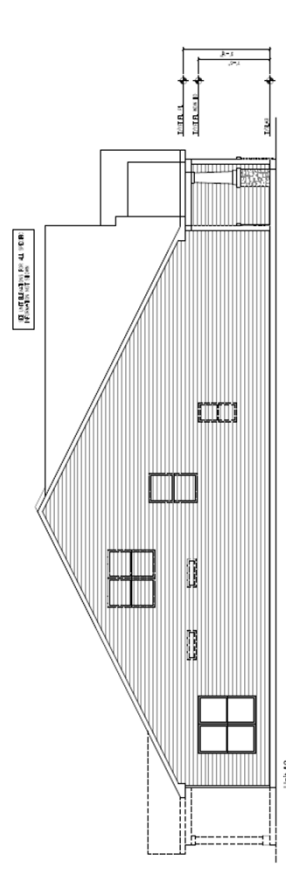
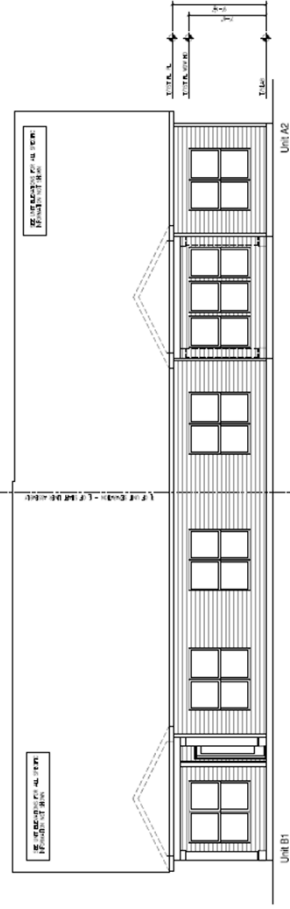
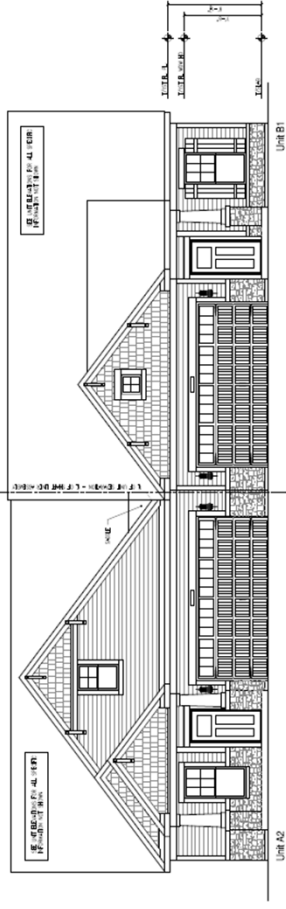
Unit A1
Side Elevation - A1
1/8\"/>

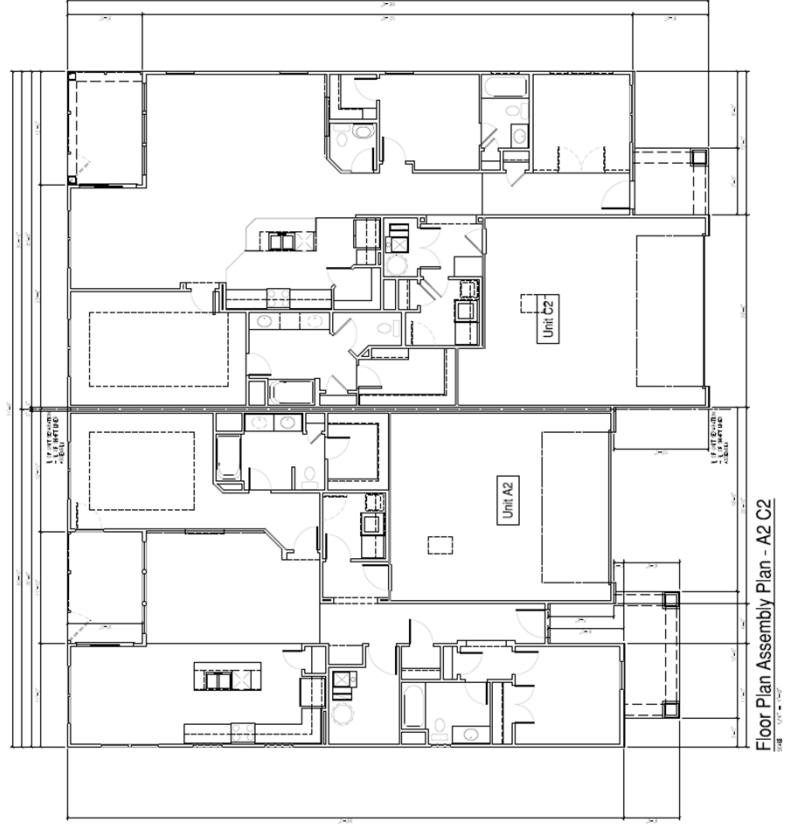
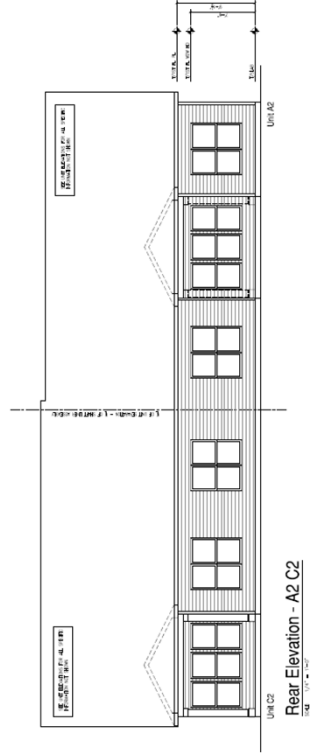
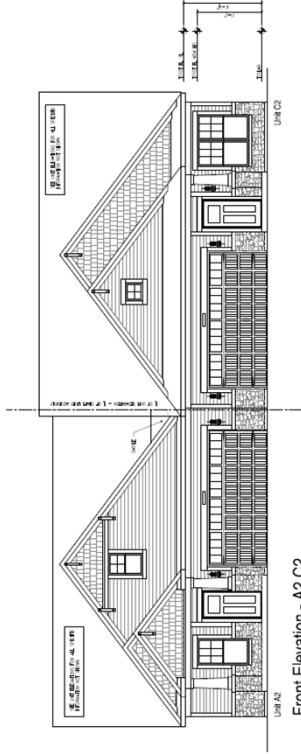
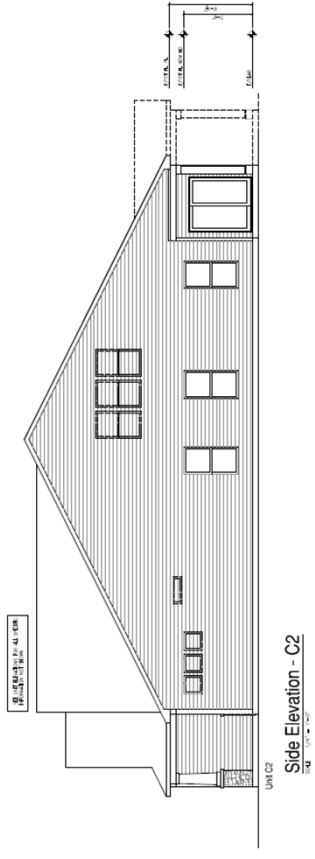
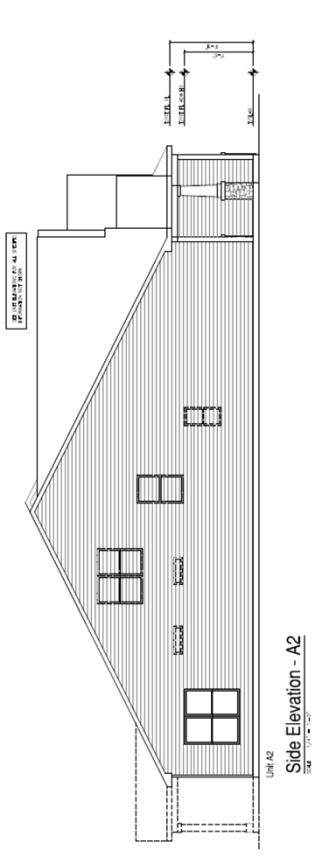


Unit C1
Side Elevation - C1
1/8\"/>



Floor Plan Assembly Plan - A1 C1
1/8\"/>





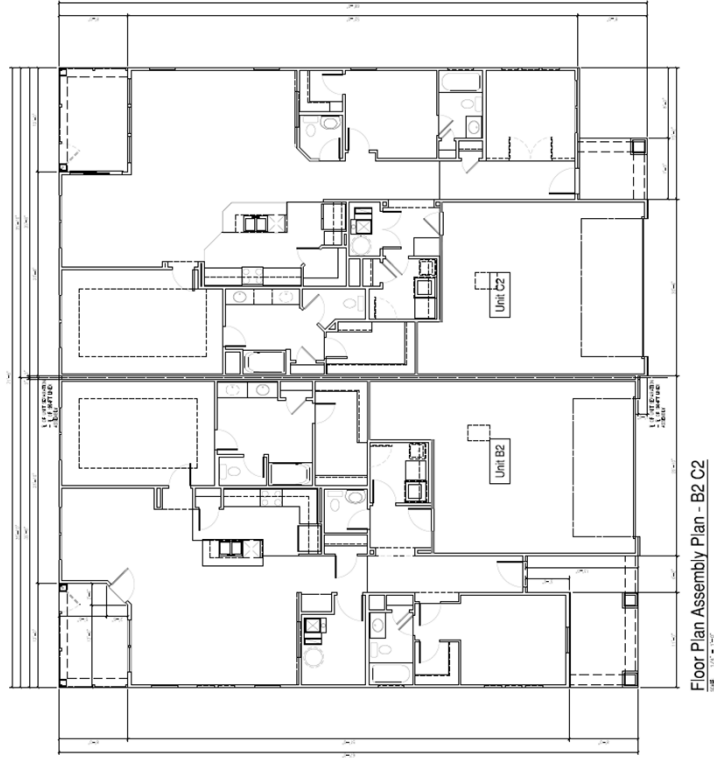
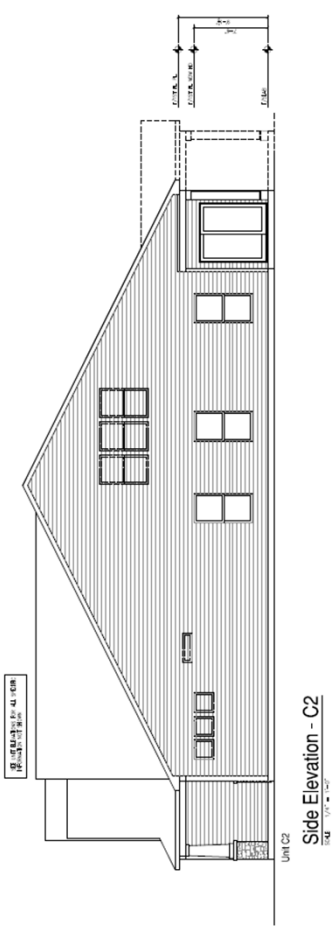
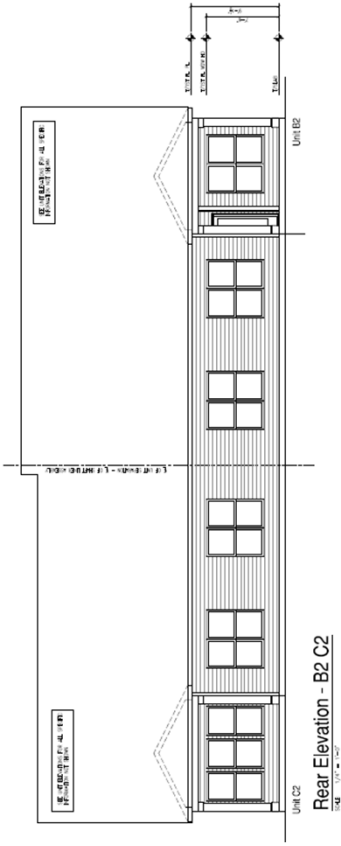
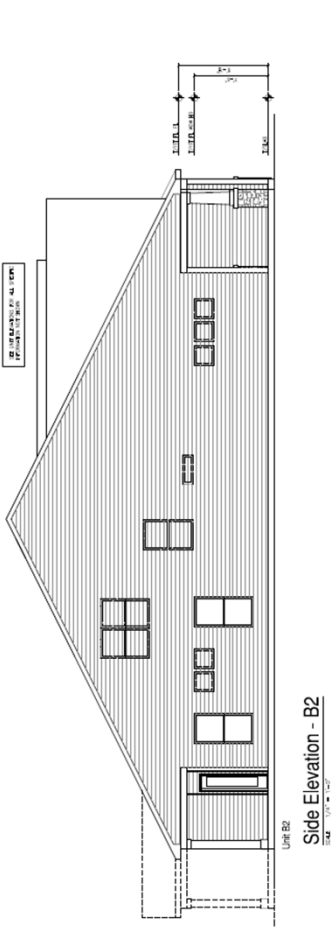
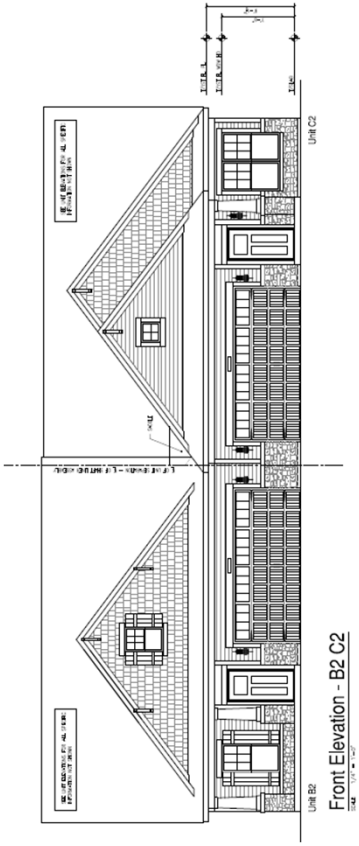
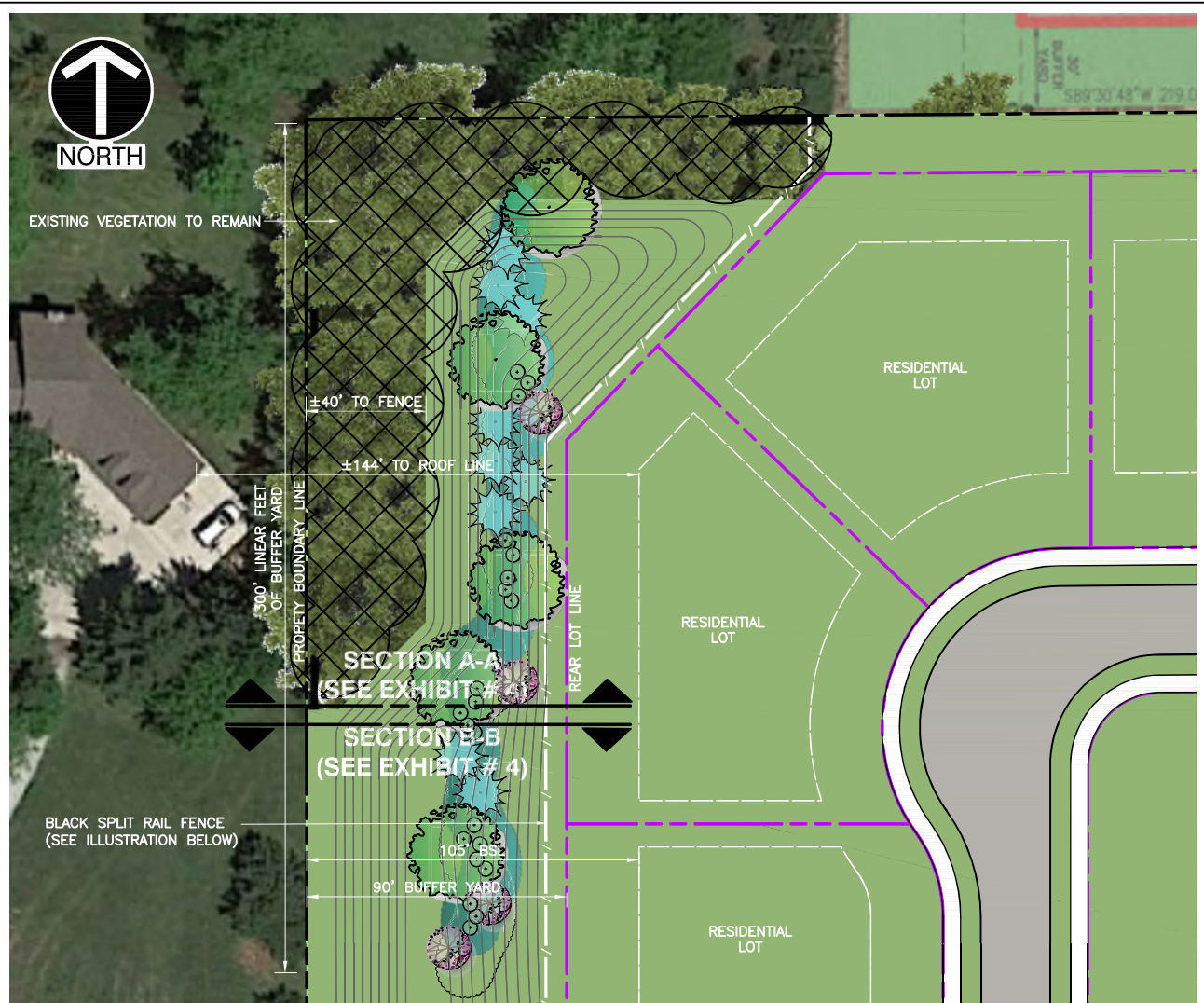


EXHIBIT F

Buffer Yard Landscaping

The Buffer Yard Landscaping details appear on the following two (2) pages of this exhibit.



BUFFER YARD - SCHEMATIC PLANTING PLAN



ILLUSTRATION - TYPICAL SPLIT RAIL FENCING

BUFFER YARD - TABULATIONS

DESCRIPTION:

SHADE TREES:	(4 TREES PER 100 LF OF BUFFER YARD)
EVERGREEN TREES:	(4 TREES PER 100 LF OF BUFFER YARD)
ORNAMENTAL TREES:	(2 TREES PER 100 LF OF BUFFER YARD)
SHRUBS:	(10 SHRUBS PER 100 LF OF BUFFER YARD)

SCHEMATIC PLANT LIST

NOTE: THE FOLLOWING PLANT LIST IS TO CONVEY DESIGN INTENT ONLY. FINAL LANDSCAPE PLANS MAY INCLUDE BUT ARE NOT LIMITED TO SPECIES LISTED BELOW. FINAL LANDSCAPE PLANS SHALL CONFORM TO THE WESTFIELD-WASHINGTON TOWNSHIP UNIFIED DEVELOPMENT ORDINANCE.

COMMON NAME / SCIENTIFIC NAME

CANOPY SHADE TREE > 20 FT SPREAD @ MATURITY

ELM, PRINCETON	ULMUS AMERICANA 'PRINCETON'
MAPLE, ARMSTRONG (COLUMNAR)	ACER RUBRUM, 'JEFFS RED'
MAPLE, RED	ACER RUBRUM
OAK, BEACON (COLUMNAR)	QUERCUS BICOLOR 'BONNIE & MIKE'
OAK, WHITE	QUERCUS BICOLOR

ORNAMENTAL SHADE TREE > 20 FT SPREAD @ MATURITY

HORNBEAM, AMERICAN	CARPINUS CAROLINIANA
MAGNOLIA, SWEETBAY	MAGNOLIA VIRGINIANA
REDBUD, EASTERN	CERCIS CANADENSIS
SERVICEBERRY	AMELANCHIER X GRANDIFLORA

EVERGREEN TREE > 20 FT SPREAD @ MATURITY

HORNBEAM, AMERICAN	CARPINUS CAROLINIANA
MAGNOLIA, SWEETBAY	MAGNOLIA VIRGINIANA
REDBUD, EASTERN	CERCIS CANADENSIS
SERVICEBERRY	AMELANCHIER X GRANDIFLORA

SHRUBS - DECIDUOUS

FOTHERGILLA, DWARF	FOTHERGILLA GARDENII 'MOUNT AIRY'
HYDRANGEA, OAKLEAF	QUERCUS VIRGINIANA
SUMMERSWEET	CLETHRA ALNIFOLIA 'RUBY SPICE'
LILAC, DWARF	SYRINGA PATULA 'MISS KIM'
VIBURNUM, CRANBERRY BUSH	VIBURNUM TRILOBUM
CHOKEBERRY, BLACK	ARONIA MELANOCARPA

PLANTING BEDS / TURF

MULCH - SHREDDED CYPRESS, PINE STRAW, OR FOREST FINES

TURF - RTF RHIZOMATOUS TALL FESCUE, & 'NO MOW' FESCUE

C&E
Civil & Environmental Consultants, Inc.
 530 E. Ohio Street, Suite G - Indianapolis, IN 46204
 317-655-7777 • 877-746-0749
 www.ccecinc.com

LOR CORPORATION
 146TH STREET & TOWNE ROAD
 MIXED USE DEVELOPMENT
 WESTFIELD, INDIANA

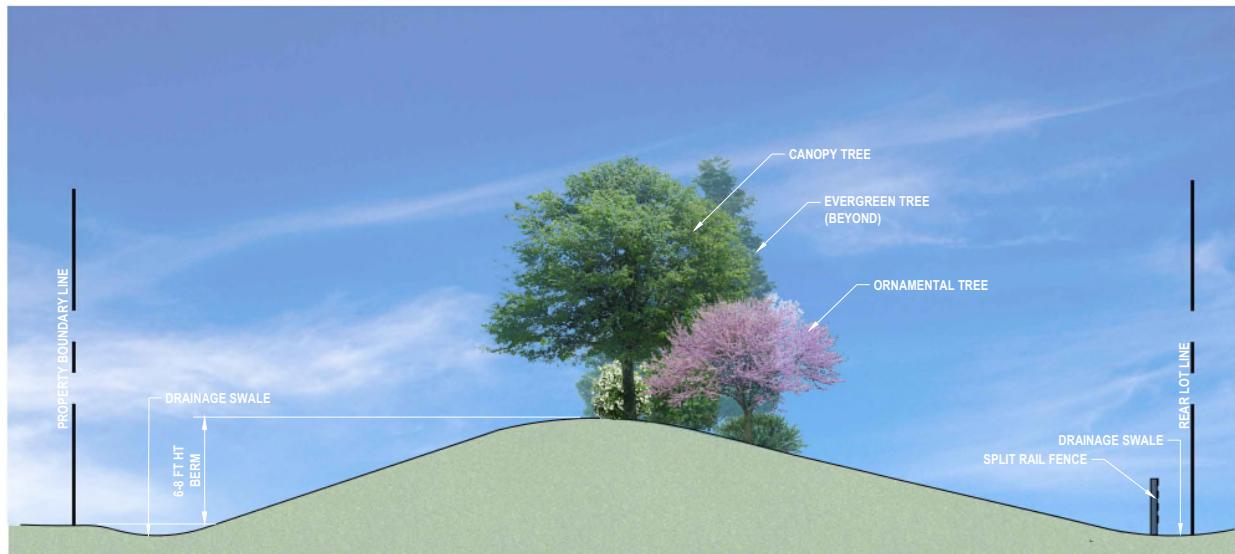
TYPICAL BUFFER - SCHEMATIC PLANTING PLAN

DRAWN BY: SGJ CHECKED BY: ACH APPROVED BY: ACH FIGURE NO.:
 DATE: JAN. 24, 2022 DWG SCALE: 1"=40' PROJECT NO: 316-844

EXHIBIT 3



BUFFER YARD - CROSS SECTION A-A



BUFFER YARD - CROSS SECTION B-B




 Civil & Environmental Consultants, Inc. 530 E. Ohio Street, Suite G - Indianapolis, IN 46204 317-655-7777 • 877-746-0749 www.ccecinc.com		LOR CORPORATION 146TH STREET & TOWNE ROAD MIXED USE DEVELOPMENT WESTFIELD, INDIANA	
		BUFFER YARD CROSS SECTIONS	
DRAWN BY:	SGJ	CHECKED BY:	ACH
DATE:	JAN. 24, 2022	DWG SCALE:	1"=10'
APPROVED BY:	ACH	FIGURE NO.:	316-844
EXHIBIT 4			

EXHIBIT G

Townhome Hub – Typical Building Landscaping

The typical Building landscaping applicable the Townhome Hub Area appears on the following page of this exhibit.

Typical Lot Landscaping

Typical Townhome

Each building shall include at least 4 shrubs and 1 tree (shade, evergreen or ornamental) per unit

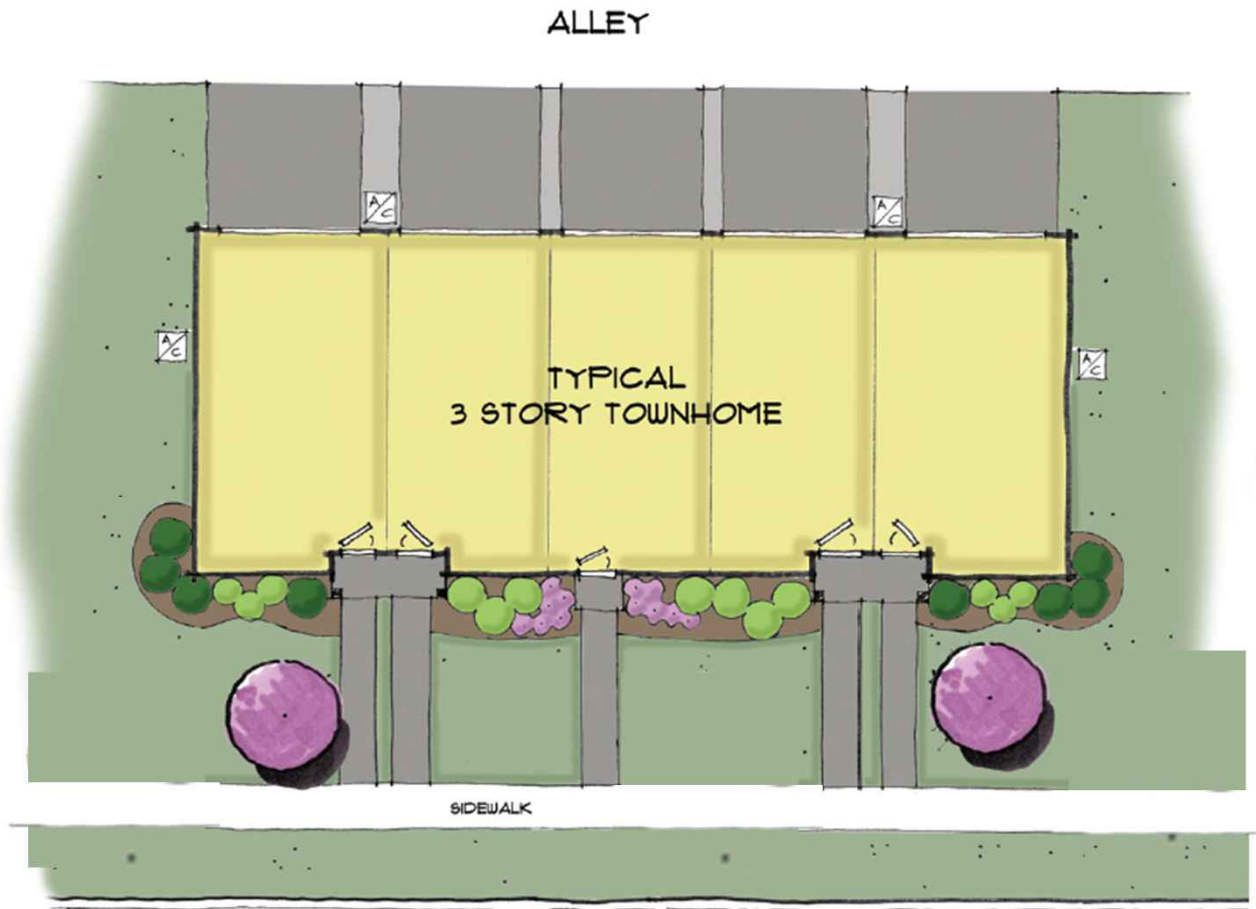


EXHIBIT H

Paired Villa Hub – Typical Lot Landscaping

The typical Lot landscaping applicable the Paired Villa Hub Area appears on the following page of this exhibit.

Typical Lot Landscaping

Typical Paired Villa

Each Building shall include at least 8 shrubs and 1 tree (shade, evergreen or ornamental) per Dwelling Unit

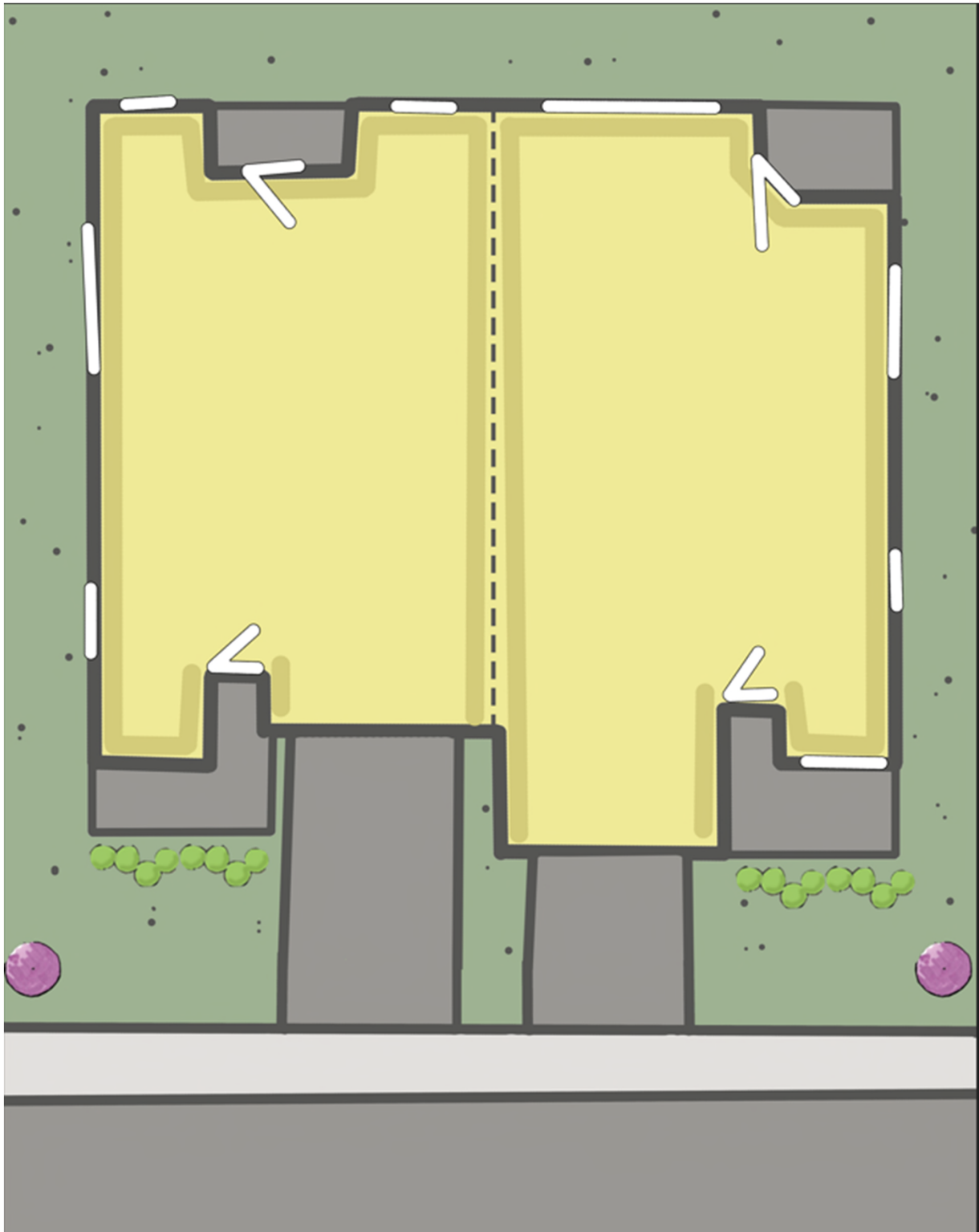
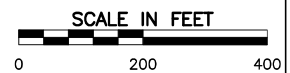



EXHIBIT I

Amenity Plan

The Amenity Plan applicable the District appears on the following page of this exhibit.



 Civil & Environmental Consultants, Inc. 530 E. Ohio Street, Suite G - Indianapolis, IN 46204 317-655-7777 • 877-746-0749 www.cecinc.com		LOR Corporation TowneRun Mixed-Use Development Westfield, Indiana	
DRAWN BY: SGJ		CHECKED BY: ACH	
DATE: JAN. 24, 2022		APPROVED BY: ACH	
DWG SCALE: 1"=200'		PROJECT NO: 316-844	
		FIGURE NO.: EXHIBIT #1	